

PROJECT DATA

ADDRESS
CIVIC ADDRESS: 961 MCKENZIE AVENUE, AND 3986, 3990 SAANICH ROAD
LEGAL ADDRESS: LOT 2, SECTION 64, VICTORIA DISTRICT, PLAN 7602
LOT 2, SECTION 64, VICTORIA DISTRICT, PLAN 8231
LOT A, SECTION 64, VICTORIA DISTRICT, PLAN 19250
(REFER TO SURVEY PLAN FOR COMPLETE DESCRIPTION)

SITE INFORMATION
ZONING (CURRENT): RS-10 (961 MCKENZIE AVENUE)
RS-10 (3990 SAANICH ROAD)
RS-6 (3986 SAANICH ROAD)

ZONING (PROPOSED): RA-11
NEIGHBOURHOOD: SWAN LAKE
LOCAL AREA PLAN: QUADRA
SITE AREA (INCL ROAD DEDICATION): 1956m²
SITE AREA (EXCL ROAD DEDICATION): 1745m²
FLOOR SPACE RATIO: 2.9 MAX; 2.7 PROPOSED
GROSS FLOOR AREA: 4665m²
SITE COVERAGE: 50% MAX; 47% PROPOSED (820m²)
IMPERVIOUS SURFACE AREA: 1371m²
RATIO OF OPEN SPACE VS TOTAL SITE AREA: 666m²:1745m² (0.38:1)
BUILDING HEIGHT: 21.5m MAX (PER SAANICH)
LEVEL 1: 37.50m
TOP OF PARAPET: 57.45m
FROM L1 TO TOP OF PARAPET: 19.95m
AVERAGE GRADE (PER SAANICH): 37.50m
AVERAGE GRADE TO TOP OF PARAPET: 19.95m (<21.5m MAX HEIGHT)
NUMBER OF STOREYS: 6
PARKING LEVELS: 1

BUILDING SETBACKS
NORTH (FROM 5.2m DEDICATION LINE): (5.00m REQUIRED) ACTUAL: 5.00m
EAST (SAANICH ROAD SIDE): (5.00m REQUIRED) ACTUAL: 4.65m
SOUTH (REAR INTERIOR SIDE): (6.50m REQUIRED) ACTUAL: 11.22m
WEST (INTERIOR SIDE): (4.00m REQUIRED) ACTUAL: 4.50m
HORIZONTAL WIDTH: (55.0m MAX); ACTUAL: 28.22m

PARKING
PARKING STALLS
TOTAL STALLS: 47
SMALL: 11
VISITORS: 6
ACCESSIBLE: 1
BICYCLE PARKING
TOTAL: 72
CLASS 1: 60
NON-STANDARD CLASS 1: 6
CLASS 2: 6

RESIDENTIAL
TOTAL NUMBER OF UNITS: 60
UNIT TYPES
STUDIO: 4
1 BEDROOM: 18
1 BEDROOM + DEN: 28
2 BEDROOM + DEN: 10

TDM PACKAGES
TDM PACKAGES PROVIDED: 2
TDM PACKAGE A
TDM PACKAGE B

NOTE:
1. Exterior lighting will comply with Municipal Outdoor Lighting Standards in Schedule B.
2. Refer to landscape drawings for detailed landscape information.

LIST OF VARIANCES

VARIANCES	PROPOSED	REQUIRED/ ALLOWED	VARIANCE
PARKING COUNT VISITORS: (0.3x 60 UNITS = 18 REQUIRED) ACTUAL: 6	6	18 (0.3 x 60)	12
PARKING STALL SIZE STANDARD STALL DEPTH (NEXT TO STRUCTURE): STANDARD STALL DEPTH (ELSEWHERE): STANDARD STALL WIDTH (ELSEWHERE): SMALL STALLS WIDTH (ELSEWHERE):	5.1m 5.1m 2.6m 2.6m	5.5m 5.5m 2.4m 2.4m	0.4m 0.4m 0.2m 0.2m
DRIVE AISLE WIDTH DOUBLE LOADED:	7.0m	7.9m	0.9m
DRIVEWAY CROSSING WIDTH:	11.0m	7.0m	4.0m
WINDOW PROXIMITY TO DRIVEWAY DISTANCE:	0.0m	3.0m	3.0m
SETBACK EAST (SAANICH ROAD SIDE):	5.0m	4.65m	0.35m
LOADING BAY HEIGHT: LENGTH:	3.0m 7.9m	4.5m 10.2m	1.5m 2.3m

PROJECTIONS INTO SETBACKS NORTH: EAST:	1.22m 1.36m	1.2m 1.2m	0.02m 0.16m
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TRAFFIC MANAGEMENT PLAN TDM PACKAGES:	TDM Pkg. B * 10% (6) above reqd. Class 1 storage * 110% (66) electrified spaces * 10% (6) non-standard spaces * Bike repair stn.	+ 1 additional pkg . (TDM Pkg. B) * 30% (18) above min. reqd. Class 1 spaces * 50% (30) electrified Class 1 spaces * 15% (9) additional non-standard parking spaces * Bike repair stn.	TDM Plan B * DELETE: 20% (12) Class 1 spaces * ADD: 60% (36) electrified spaces * DELETE: 5% (3) non-standard spaces
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DRAWING ISSUANCE LIST

SHEET NUMBER	SHEET NAME
DP.000	COVER PAGE
DP.001	CONTACT LIST, DRAWING LIST, PROJECT DATA
DP.002	AVG GR, PROJECT STATISTICS
DP.003	SITE SURVEY
DP.100	SITE PLAN, INFORMATION SHEET
DP.101	FLOOR PLAN - PARKADE
DP.102	FLOOR PLAN - LEVEL 1
DP.103	FLOOR PLAN - LEVEL 2
DP.104	FLOOR PLAN - LEVEL 3
DP.105	FLOOR PLAN - LEVEL 4
DP.106	FLOOR PLAN - LEVEL 5
DP.107	FLOOR PLAN - LEVEL 6
DP.108	FLOOR PLAN - ROOF
DP.200	BUILDING ELEVATION - NORTH
DP.201	BUILDING ELEVATION - EAST
DP.202	BUILDING ELEVATION - SOUTH
DP.203	BUILDING ELEVATION - WEST
DP.300	BUILDING SECTION-A
DP.301	BUILDING SECTION-B
DP.400	SHADOW STUDY
DP.401	RENDERING
TOTAL SHEETS: 21	

PROJECT TEAM CONTACTS

Developer	SEBA Construction 204 - 2590 Cadboro Bay Road, Victoria, BC. V8R 5J2 Jamie Gill, Gunnu Gill Development Manager t: (250) 516 1224 e: jamie@sebaconstruction.com
Architect	koka architecture + design inc. Suite 203 - 1551 Johnston Street, Vancouver, BC. V6H 3R9 Joseph Kardum / Herman Kao Architect t: (604) 678 5638 e: hello@kokaarchitecture.ca
Civil	McElhanney 500 - 3960 Quadra Street, Victoria, BC. V8X 4A3 Nathan Dunlop Project Engineer t: (250) 370 9221 e: ndunlop@mcelhanney.com
Landscape	Gauthier + Associates Landscape Architects Inc 629 Atlantic Street, Vancouver, BC. V6A 2J9 Bryce Gauthier Landscape Architect t: (604) 317 9682 e: bryce@gauthierla.com
Geotechnical	Ryzuk Geotechnical 6 - 40 Cadillac Avenue, Victoria, BC. V8Z 1T2 Neil Klassen Project Engineer t: (250) 475 3131 e: nklassen@ryzuk.com
Surveyor	Powell & Associates 250 - 2950 Douglas Street, Victoria, BC. V8T 4N4 James Worton t: (250) 382 8855 e: james@powellsurveys.com

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developer:
seba
CONSTRUCTION

consultant:

true north: project north:



notes:
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Refer to structural engineer's drawings for sizing of all structural items.
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project name:
Saanich +
McKenzie

project number:
2155

civic address:
961 McKenzie Ave.,
3986-3990 Saanich Rd.,
Victoria, BC

issue:	(yy-mm-dd)
G Rezoning/Development Permit	Nov 28, 2023
M ISSUED FOR DP r1	24-10-15
N ISSUED FOR DP r2	25-06-27
P ISSUED FOR DP r3	25-11-03

title:
CONTACT LIST,
DRAWING LIST,
PROJECT DATA

revision:

sheet:

DP.001

MCKENZIE + SAANICH - 6 STOREY BUILDING - 60 UNITS

LEVELS	SUITE NUMBERS AND AREAS																								LOBBY / (INTERIOR) AMENITY		GROSS FLOOR AREA		SUITES PER LEVEL						
	UNIT	m2	SF	UNIT	m2	SF	UNIT	m2	SF	UNIT	m2	SF	UNIT	m2	SF	UNIT	m2	SF	UNIT	m2	SF	UNIT	m2	SF	UNIT	m2	SF	m2		SF	m2	SF			
LEVEL 6	600	84.3	907	601	72.9	785	602	52.5	565	603	67.8	730	604	69.7	750	605	69.3	745	606	72.3	778	607	52.3	563	608	91.6	986	609	66.0	710	0.0	0	785.7	8457	10
LEVEL 5	500	84.3	907	501	72.9	785	502	52.5	565	503	67.8	730	504	69.7	750	505	69.3	745	506	72.3	778	507	52.3	563	508	91.6	986	509	66.0	710	0.0	0	785.7	8457	10
LEVEL 4	400	84.3	907	401	72.9	785	402	52.5	565	403	67.7	729	404	69.7	750	405	69.3	745	406	72.3	778	407	52.3	563	408	91.6	986	409	66.0	710	0.0	0	785.6	8456	10
LEVEL 3	300	84.3	907	301	72.9	785	302	52.5	565	303	67.8	730	304	69.7	750	305	69.3	745	306	72.3	778	307	52.3	563	308	91.6	986	309	66.0	710	0.0	0	785.7	8457	10
LEVEL 2	200	84.3	907	201	72.9	785	202	52.5	565	203	67.8	730	204	69.7	750	205	69.2	745	206	72.3	778	207	52.3	563	208	91.6	986	209	66.0	710	0.0	0	785.6	8456	10
LEVEL 1	100	74.6	803	101	57.6	620	102	71.7	772	103	75.7	815	104	51.1	550	105	42.3	456	106	37.3	402	107	37.3	402	108	58.3	627	109	53.9	580	67.0	721	738.2	7946	10
																														67.0	721	4666.5	50229	60	

RETAINING WALLS		
COMMENTS	B/WALL	T/WALL
RTW01	VARIES (35.58m - 35.99m)	36.81m
RTW02	VARIES (34.15m - 35.58m)	36.81m
RTW03	35.56m	36.81m
RTW04	35.56m	35.71m
RTW05	VARIES (33.79m - 34.15m)	35.81m
RTW06	35.56m	35.71m
RTW07	VARIES (33.79m - 34.32m)	35.81m

CANOPY PROJECTIONS INTO SETBACK

ORIENTATION	PROJECTION FROM BLDG (mm)	PROJECTION INTO SETBACK (mm)
NORTH	1225	1215
EAST	1225	1335
SOUTH	1481	0
WEST	1181	44

(CLAUSE 5.8c)) MAX. (FRONT, REAR, EXTERIOR) SETBACK REDUCTION = 1.2m
(CLAUSE 5.8c)) MAX. (INTERIOR) SETBACK REDUCTION = 0.6m

AVERAGE GRADE SCH. (FOR BCBC 2024)

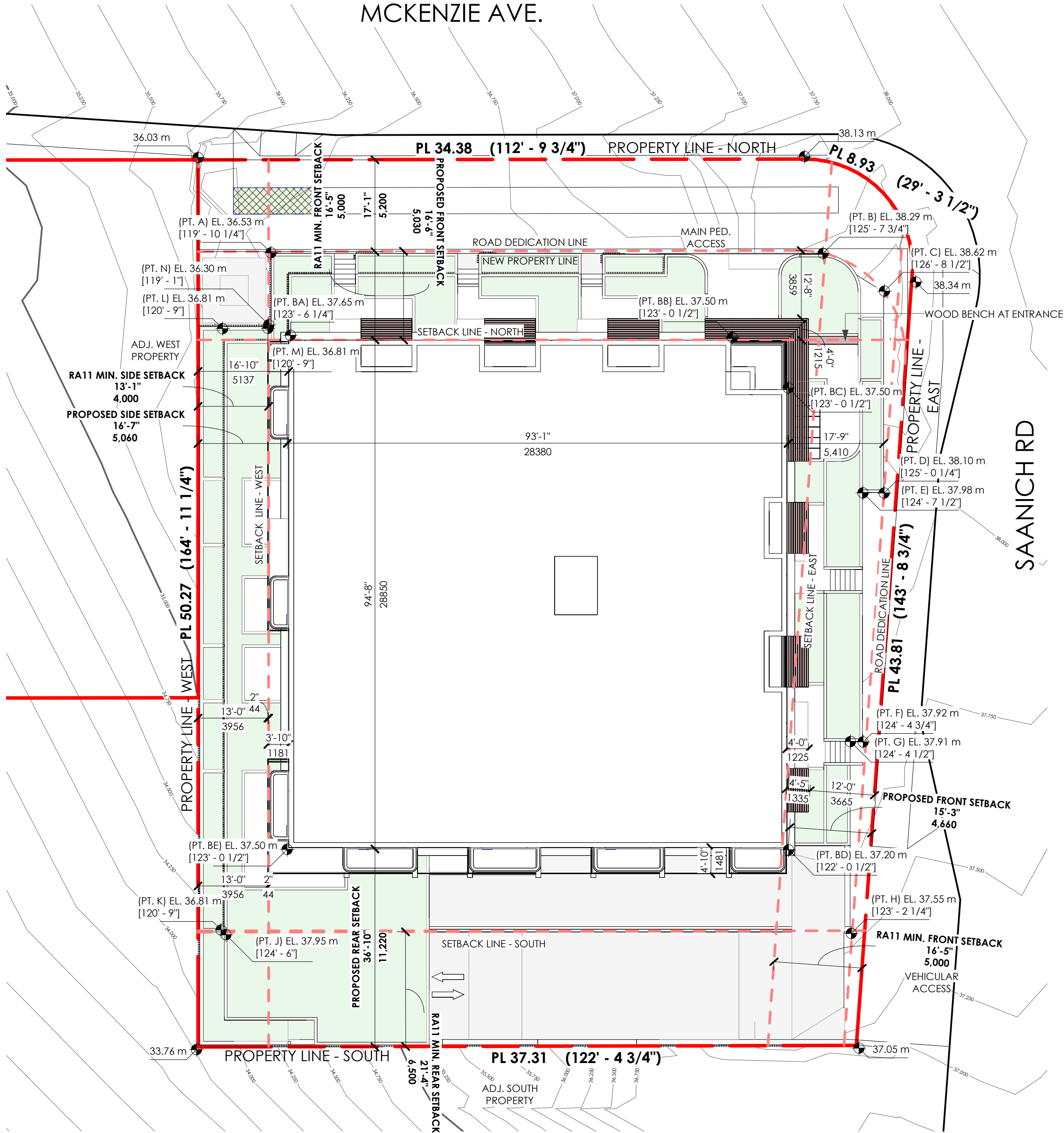
MARK	ELEVATION (m)	ELEVATION (ft-in)
PT. A	36.53	119' - 10 1/4"
PT. B	38.29	125' - 7 1/2"
PT. C	38.62	126' - 8 1/2"
PT. D	38.10	125' - 0"
PT. E	37.98	124' - 7 1/2"
PT. F	37.92	124' - 4 3/4"
PT. G	37.91	124' - 4 1/2"
PT. H	37.55	123' - 2 1/4"
PT. J	37.00	121' - 4 3/4"
PT. K	36.81	120' - 9"
PT. L	36.81	120' - 9"
PT. M	36.81	120' - 9"
PT. N	36.30	119' - 1 1/4"

AVG. GR. (FOR LEVEL 1)	37.33	122' - 5 3/4"
LEVEL 1	37.50	123' - 0 1/2"
LEVEL 6	53.60	175' - 10 1/4"
BLDG. HT. (FOR BCBC)		16.27
		53' - 4 1/2"

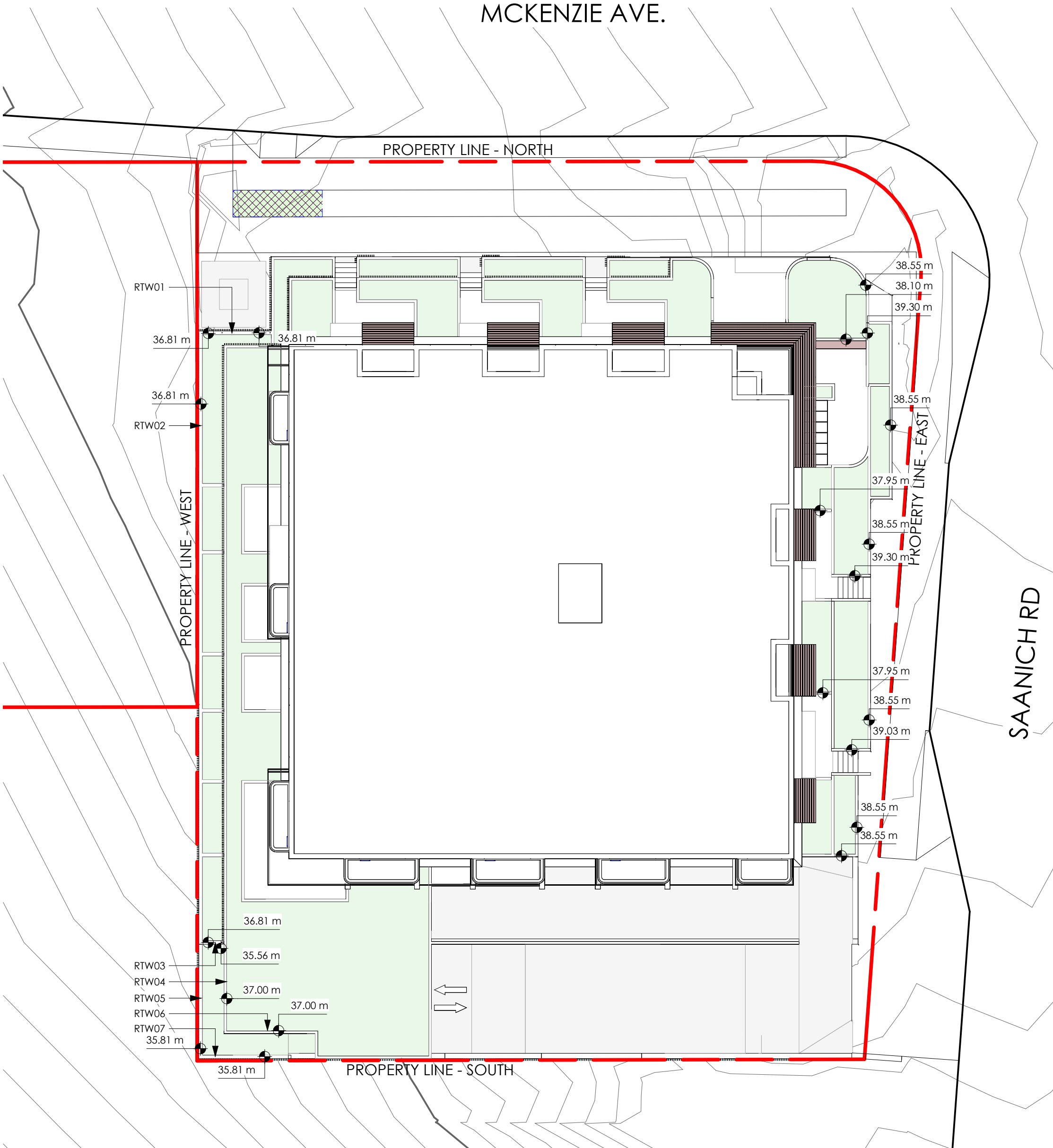
* FIRST STOREY (LEVEL 1), GRADE DEFINITIONS AS PER BCBC 2024

AVERAGE GRADE SCH. (BUILDING)

MARK	ELEVATION (m)	ELEVATION (ft.-in.)
B.A	37.65	123' - 6 1/4"
B.B	37.50	123' - 0 1/2"
B.C	37.50	123' - 0 1/2"
B.D	37.20	122' - 0 1/2"
B.E	37.50	123' - 0 1/2"
AVG. GR.	37.47	122' - 11 1/4"
T/PARAPET	57.45	188' - 5 3/4"
BLDG. HT.		19.98
		65' - 6 1/2"



1 SITE - AVERAGE GRADE, SETBACKS
DP.002 1 : 200



2 RETAINING WALLS
DP.002 1 : 200

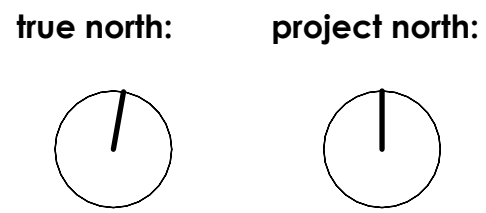
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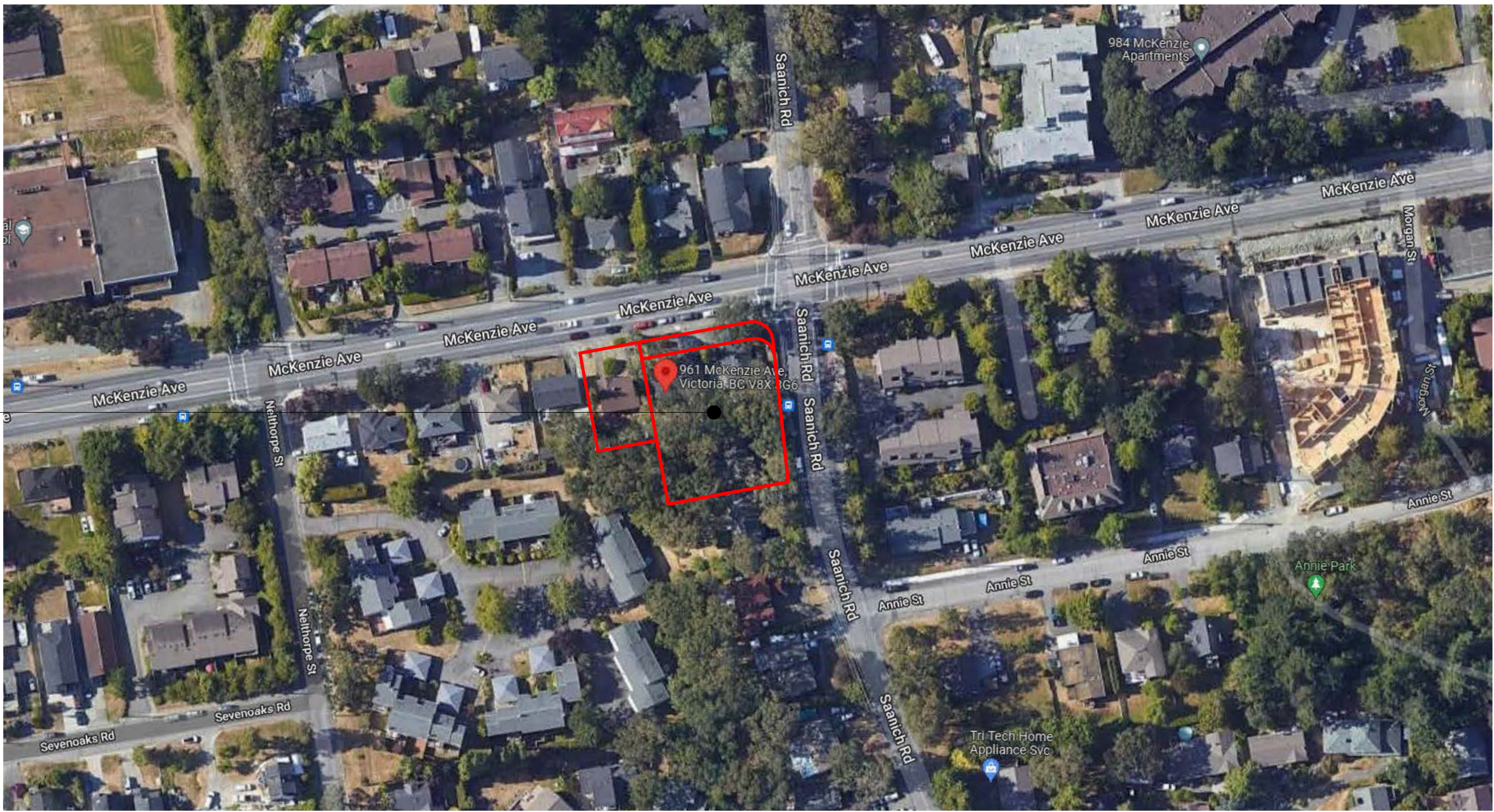
title:
AVG GR, PROJECT
STATISTICS

revision:

sheet:

DP.002

SITE



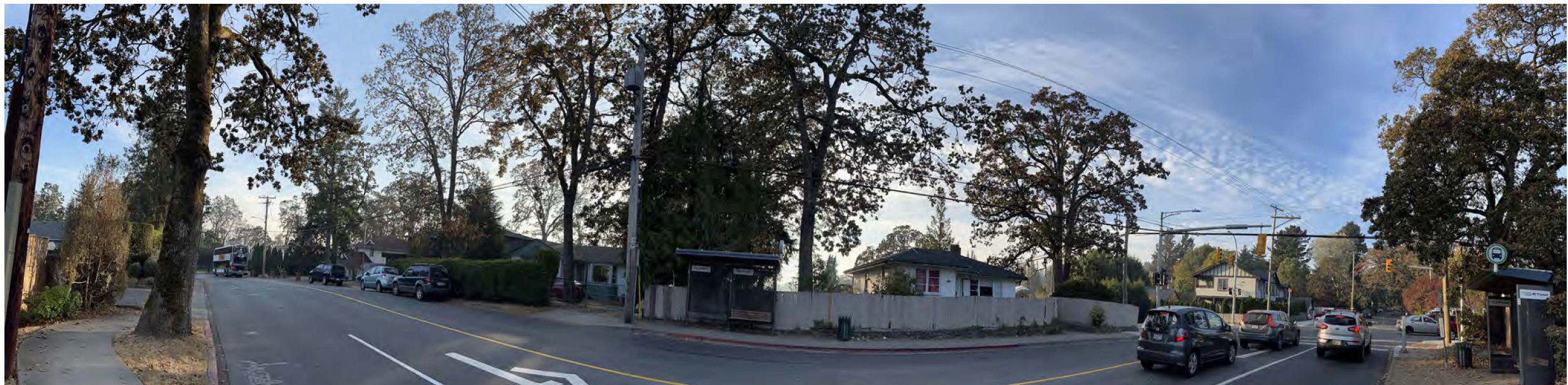
SITE



MCKENZIE AVENUE (NORTH FACING)



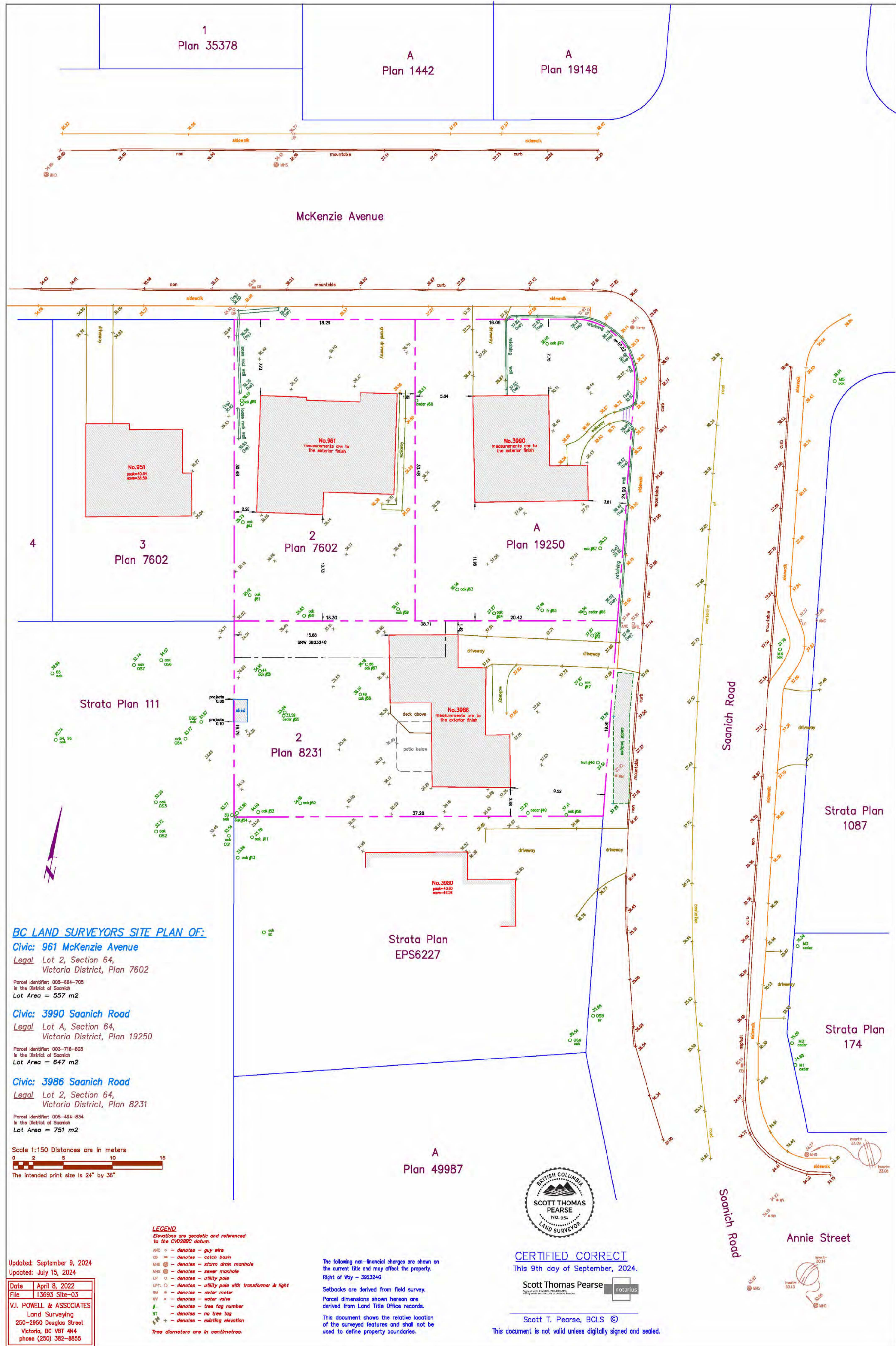
SAANICH ROAD (EAST FACING)



SAANICH ROAD (WEST FACING)



MCKENZIE AVENUE (SOUTH FACING)



SURVEY PLAN

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developer:
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consultant:

true north: project north:



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N	ISSUED FOR DP r2	25-06-27
P	ISSUED FOR DP r3	25-11-03

title:
SITE SURVEY

revision:

sheet:

DP.003

Building Code Information Sheet

Project Description: 6 STOREY MULTI-FAMILY RESIDENTIAL CONDOMINIUM DEVELOPMENT W/ 60 UNITS

Name of Project: MCSAANICH

Address of Project: 961 MCKENZIE/3986-3990 SAANICH ROAD, VICTORIA, BC.

Development Permit #

Overview: This form is to be completed if a Code Analysis, including all the following code information, is not provided by the Architect / Engineer in an alternative form.

Type of Work

- ☒ New Construction
- ☐ Addition to Existing Structure
- ☐ Alteration
- ☐ Tenant Improvement

Basic for Code Analysis (Section 1.2, Div. A)

- ☒ Acceptable Solutions & Prescriptive Requirement's (Division B): PART 3 ☒ PART 9
- ☐ Alternate Compliance Method (Heritage Buildings)
- ☐ Alternative Solutions (Objectives & Functional Statements)

Building Area (m²) (see CBCB definitions)

Existing: 820 sq.m New: 250 sq.m Gross Area (m²): 4665 sq.m

Building Size and Construction (Articles 3.2.2.20 to 3.2.2.90)

Governing Article: 3.2.2.51

Major Occupancies (Group/Division): C Subsidiary Occupancies: F3

Number of Streets: 2 Building Height (Storeys): 6

Mezzanine (% of Suite as per Article 3.2.1.1): N/A

Firewalls are incorporated into overall design ☐ Yes ☒ No

Parking Structures considered as separate buildings ☒ Yes ☐ No

NOTE: If fire wall provided to reduce building area – separate Code Analyses are required for each building.

Type of Construction Permitted

Combustible ☒ Non-combustible ☒ (PARKADE)

Fire Separation/Fire Resistance Rating of Building Components:

Floors: 1-HR Mezzanine: N/A

Roof: 1-HR Supports: 1-HR (2-HR FOR PARKADE)

Automatic Sprinklers:

☒ Entire Building (3.2.2.20-90)

☐ Basement Only (3.2.1.5)

Standpipe Required (3.2.5.8)

☒ Yes ☐ No

Exit Signs Required (3.4.5)

☒ Yes ☐ No

Emergency Lighting Required (3.2.7)

☒ Yes ☐ No

Fire Alarms Required (3.2.4):

☒ Yes ☐ No

High Building (3.2.6)

☐ Yes ☒ No

Smoke Control/Ventilation Required

☒ Yes ☐ No

Distance to Hydrant: ~14.1m

Continued on Reverse

April 2019

Development Variance Permit Application

District of Saanich

Part 2

tel 250-475-5471 fax 250-475-5430
www.saanich.ca

Development Details

Current Zoning RS-10 Property Size (m² or less) 1,745 sq.m

Existing Use SINGLE FAMILY RESIDENCES

Describe Proposal 6 STOREY MULTI-FAMILY RESIDENTIAL CONDOMINIUM WITH 60 UNITS, BIKE STORAGE
SPACES AND UNDERGROUND PARKING SPACES.

Requested Variances

Zoning Bylaw Schedule & Requirement	Permitted	Proposed	Difference
Example (Schedule 601.6(b) – Building Height)	(9.0m)	(9.5m)	(0.5m)
ZONING	RS-10	RA-11	(12)
PARKING COUNT - VISITOR	18	6	(12)
PARKING STALL SIZE	2.7m x 5.5m	2.7m x 5.1m	0m x (0.4m)
DRIVING AISLE WIDTH (DOUBLE LOADED)	2.4m x 5.5m	2.4m x 5.1m	0.2m x (0.4m)
SETBACK - EAST (SAANICH ROAD SIDE)	7.9m	7.0m MIN.	(0.9m)
	5.0m	4.65m	(0.35m)
LOADING BAY HEIGHT	4.25m	3.0m	(1.25m)
LOADING BAY LENGTH	14.50m	7.9m	(6.60m)
WINDOW PROXIMITY TO DRIVEWAY	3.0m	0.0m	(3.0m)
DRIVEWAY CROSSING	7.0m	11.0m	4.0m
TDM PACKAGE	2 TDMs	1 TDM	(1 TDM)

(attach additional information to clarify)

Justification and Support

SEE ATTACHED TRAFFIC STUDY REPORT.

(attach additional information to clarify)

Contaminated Sites – Site Disclosure Statement

Pursuant to the *Environmental Management Act*, an applicant is required to submit a Site Disclosure Statement for a property that is/was used for commercial or industrial purposes as defined within Schedule 2 of the *Contaminated Sites Regulation*.

Schedule 2 – Contaminated Sites Regulation
<https://www2.gov.bc.ca/gov/content/environment/air-land-water/site-remediation/identifying-sites-that-may-be-contaminated>

Yes ☐

No ☒

Is/was the property used for commercial or industrial purposes as per Schedule 2 (link above)

If yes, the following is required:

☐ Completed Site Disclosure Statement – Signed by an owner of the land or operator of a site on the land for which the Site Disclosure Statement applies

☐ \$100 Site Disclosure Statement processing fee

Additional information regarding contaminated sites is available at:
<https://www2.gov.bc.ca/gov/content/environment/air-land-water/site-remediation/identifying-sites-that-may-be-contaminated>

Fire Separations within Occupancies (3.1.3., 3.3., 3.5. & 3.6.)

Suites or Fire compartments: 1-HR Service Spaces Horizontal: 1-HR

Fire Separation of exit: 1-HR Service Spaces Vertical: 1.5-HR

Corridor: 1-HR Service Rooms: 1-HR

Interconnected Floor Spaces: (Section: 3.2.8.2. (b) a, b, c, and 3.2.8.3) N/A

Repair Garage N/A Storage Garage 1.5-HR

Occupant Load (Table 3.1.17.1) ☐ m²/person ☒ Design of Building

Basement: Occupancy F3 Load: 34 persons

1st Floor: Occupancy C Load: 20 persons

2nd Floor: Occupancy C Load: 24 persons

3rd Floor: Occupancy C Load: 24 persons

4th Floor: Occupancy C Load: 24 persons

5th Floor: Occupancy C Load: 24 persons

6th Floor: Occupancy C Load: 24 persons

Exit Requirements (Section 3.4) (Section 9.9):

	Number of Exits Required (from each floor area BCBC)	Number of Exits Provided (from each floor area)	Maximum Travel Distance (per Section 3.4)	Actual Travel Distance (measured along walls if no interior layout provided)	Exit Width
Mezzanine	N/A	N/A	N/A	N/A	N/A
1st Floor	2	2	45m	<45m	915mm (DOOR)
2nd Floor	2	2	45m	<45m	915mm (DOOR)
3rd Floor	2	2	45m	<45m	915mm (DOOR)
4th Floor	2	2	45m	<45m	915mm (DOOR)
5th Floor	2	2	45m	<45m	915mm (DOOR)
6th Floor	2	2	45m	<45m	915mm (DOOR)

Spatial Separation of Areas (Subsection 3.2.3) (9.10.14)

	Area of Exposed Building	Ratio L/H or H/L	Actual Limiting Distance	Unprotected Openings Allowed	% Actual Unprotected Openings	Exposed Building Face	
						Cladding (Comb/N.C.)	Construction (Comb/N.C.)
North	563.11 sq.m	N/A	21.15m	100	<100	N.C.	C
South	563.11 sq.m	N/A	11.29m	100	<100	N.C.	C
East	555.33 sq.m	N/A	13.90m	100	<100	N.C.	C
West	555.33 sq.m	N/A	5.14m	40	27.36	N.C.	C

Health Requirements (Section 3.7) (Based on Occupant Load)

of Water Closet's required: N/A Male (wc): Female: N/A

of Water Closet's provided: N/A Male (wc/urinal): Female: N/A

Accessibility Requirements (Section 3.8): Required ☒ Yes ☐ No

Entrance: 1 Parking Spaces: 1 Accessible Path of Travel: ☒ Yes ☐ No

Universal Toilet Rooms: 0 Reason for No: N/A

Analysis completed by: JOSEPH KARDUILL Date: JUN 6, 2025

April 2019

Development Variance Permit Application

District of Saanich

Part 2

tel 250-475-5471 fax 250-475-5430
www.saanich.ca

Information Required for Submission

Consult with staff to determine which items are applicable to your submission. Additional information may be requested during application review. Note: Following not required if associated with Subdivision application.

Documentation Required

Title Search

Current copy (no older than 30 days prior to date of submission), including relevant covenants, rights-of-way & easements

Site Profile

A completed Site Profile for Contaminated Sites if required under Contaminated Sites Regulations (see opposite side)

Community Comments

Include any comments from neighbours/community associations.

Data Table Information

Owner & Designer/Architect

Civic & legal address

Project description

Site area & site coverage (net after dedication of road & park)

Total floor area & floor space ratio (FSR)

All setbacks

Number & type of units

Parking requirements & calculations

Height of building

Variance(s) requested

Plan Submission Details (all plans must be submitted in metric only)

North arrow and scale

Dimensions of property lines, rights-of-way, easements

Dimensions & setbacks of all buildings & structures, separation to all buildings on and off site

Location of existing & proposed access, sidewalks, curbs, boulevards, edge of pavement & travel stops at grade

Location, numbering & dimensions of all vehicle and bicycle parking, disabled person's parking, electric vehicle charging infrastructure, vehicle stops & loading of goods

Natural & finished grades of site, at buildings & retaining walls (indicate source of grade data)

Locate all water lines, wells, septic fields, sanitary sewer & storm drain facilities, including sizes

Locate high water mark, top of bank, natural boundaries, watercourses & riparian area on or within 30 m of property

Location & dimensions of free-standing signs (relating to DVP)

Identify requested variance(s)

Floor Plans

min. scale 1:100

Uses of spaces & building dimensions

Building finishes, materials & colours (including product numbers and sample colour chips of exterior finish colours)

Elevations

min. scale 1:100

Natural, average natural and finished grades; finished floor elevations, roof & building height elevations; average natural grade calculation

Locations & sizes of roof mechanical equipment, stairwells, and elevator shafts that protrude above the roof

Building signage details (locations, type, dimension, illumination)

Landscape Plan

same scale as site plan

If required to demonstrate requested variance(s)

Complete Application

☐ Fully completed application form (this form)

☐ Six sets of plans - Minimum of 2 colour sets and 4 black and white sets of plans

☐ One additional site plan and landscape plan – in colour

☐ One complete set of colour plans reduced to 11" x 17" (tabloid) format

☐ Copy of current (no older than 30 days) Certificate of Title

☐ Fees

DEVELOPMENT VARIANCE Permit Application FORM: APPL3

28JUN22

2

1 SITE PLAN

DP.100

1 : 250

REFER TO:
DP.001 FOR DATA TABLE/PROJECT DATA
DP.002 FOR STATISTICS, AVERAGE GRADE CALCULATIONS

OPEN AREA - OVERALL

LEVEL	NAME	AREA (SQM)	AREA (SFT)	COMMENTS
LEVEL 1	PATIO	111	1195	AMN.
LEVEL 2	BALC	63	675	AMN.
LEVEL 3	BALC	65	695	AMN.
LEVEL 4	BALC	65	695	AMN.
LEVEL 5	BALC	72	772	AMN.
LEVEL 6	BALC	72	772	AMN.
GRAND TOTAL		446	4803	

BUILDING UNIT COUNT

LEVEL	TYPE	COUNT	AREA (SQM)	AREA (SF)
LEVEL 1	1BD	3	186.76 m²	2,010.27 ft²
LEVEL 1	1BD + D	3	205.02 m²	2,206.83 ft²
LEVEL 1	STUDIO	4	168.07 m²	1,809.08 ft²
LEVEL 2	1BD	3	172.62 m²	1,858.09 ft²
LEVEL 2	1BD + D	5	350.11 m²	3,768.51 ft²
LEVEL 2	2BD + D	2	175.88 m²	1,893.20 ft²
LEVEL 3	1BD	3	172.62 m²	1,858.09 ft²
LEVEL 3	1BD + D	5	350.16 m²	3,769.07 ft²
LEVEL 3	2BD + D	2	175.88 m²	1,893.20 ft²
LEVEL 4	1BD	3	172.57 m²	1,857.54 ft²
LEVEL 4	1BD + D	5	350.16 m²	3,769.07 ft²
LEVEL 4	2BD + D	2	175.88 m²	1,893.20 ft²
LEVEL 5	1BD	3	172.62 m²	1,858.09 ft²
LEVEL 5	1BD + D	5	350.16 m²	3,769.07 ft²
LEVEL 5	2BD + D	2	175.88 m²	1,893.20 ft²
LEVEL 6	1BD	3	172.62 m²	1,858.09 ft²
LEVEL 6	1BD + D	5	350.16 m²	3,769.07 ft²
LEVEL 6	2BD + D	2	175.88 m²	1,893.20 ft²
GRAND TOTAL:		60	4053.07 m²	43,626.90 ft²

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JOSEPH M. KARDUILL
2025-11-04
BRITISH COLUMBIA

seba
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developer:

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consultant:

true north: project north:

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All dimensions to be verified on site.

project name:
Saanich + McKenzie

project number:
2155

civic address:
961 McKenzie Ave.,
3986-3990 Saanich Rd.,
Victoria, BC

issue: (yy-mm-dd)
G Rezoning/Development Permit Nov 28, 2023
M ISSUED FOR DP r1 24-10-15
N ISSUED FOR DP r2 25-06-27
P ISSUED FOR DP r3 25-11-03

title:
SITE PLAN,
INFORMATION
SHEET

revision:

sheet:

DP.100



true north: project north:



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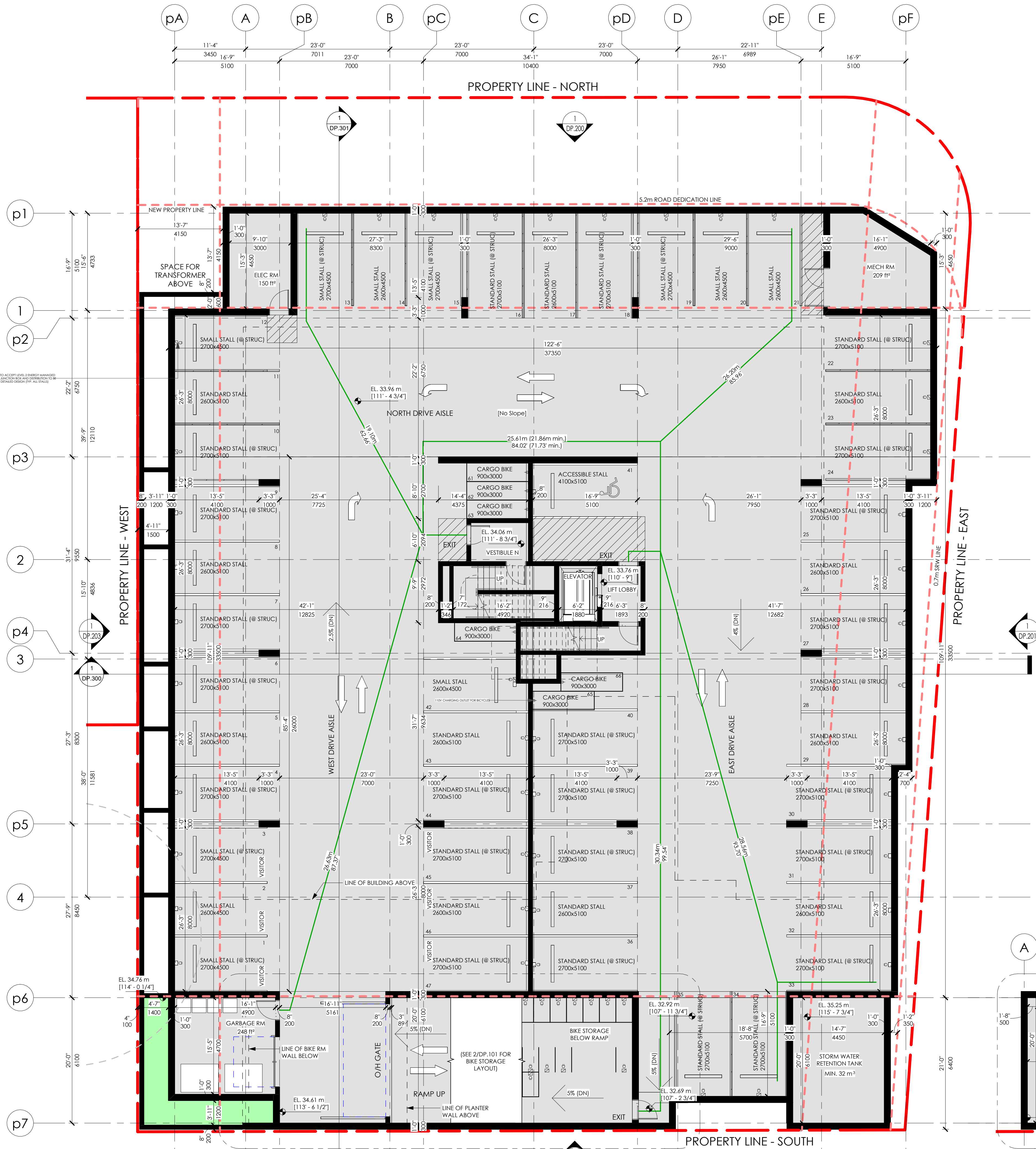
issue: (yy-mm-dd)

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P ISSUED FOR DP r3 25-11-03

title:
FLOOR PLAN -
PARKADE

revision:

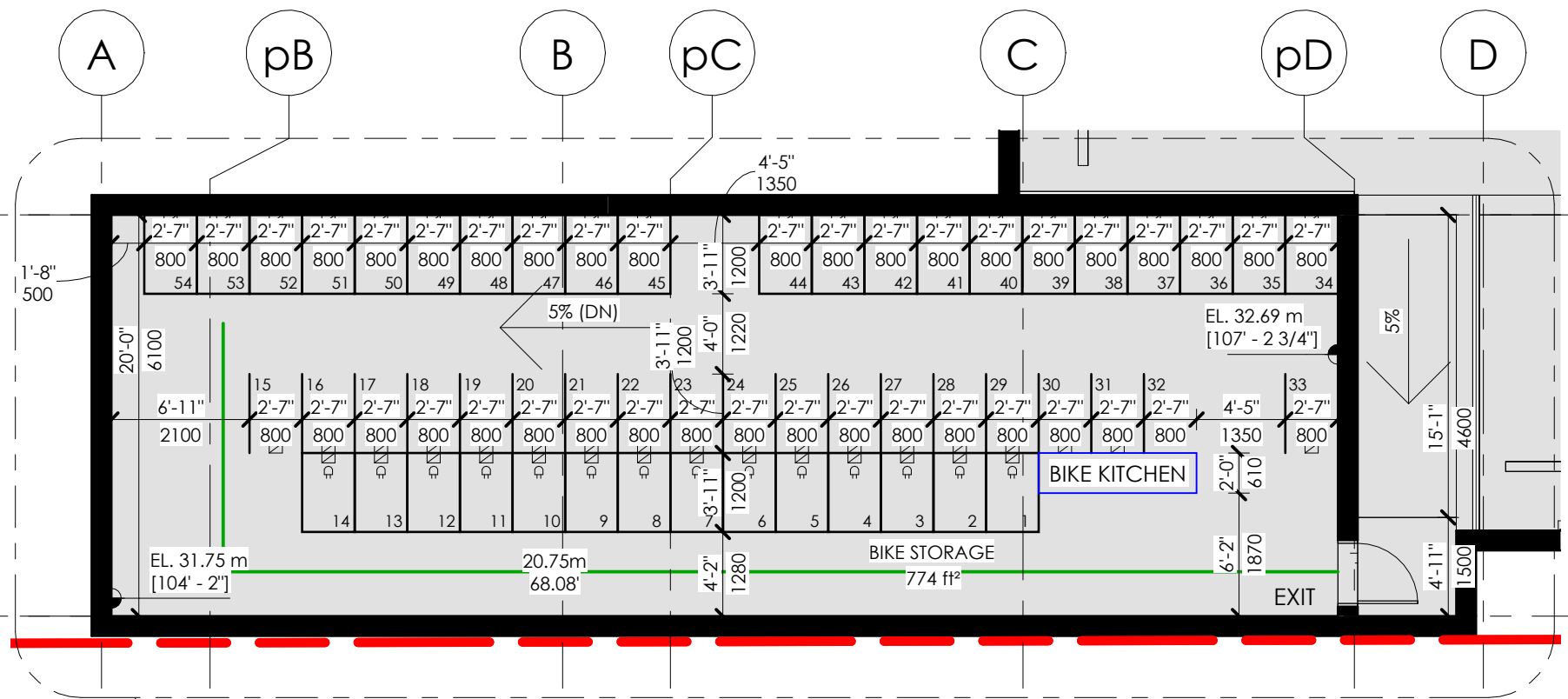
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PARKING SCHEDULE - RESIDENTS		
DESCRIPTION	DIMENSIONS	COUNT
SMALL STALL	2600x4500	4
STANDARD STALL	2600x5100	10
SMALL STALL (@ STRUC)	2700x4500	4
STANDARD STALL (@ STRUC)	2700x5100	22
ACCESSIBLE STALL	4100x5100	1
GRAND TOTAL		41

PARKING SCHEDULE - VISITORS		
DESCRIPTION	DIMENSIONS	COUNT
SMALL STALL	2600x4500	1
STANDARD STALL	2600x5100	1
SMALL STALL (@ STRUC)	2700x4500	2
STANDARD STALL (@ STRUC)	2700x5100	2
GRAND TOTAL		6

BIKE STALL SCHEDULE			
DESCRIPTION	DIMENSIONS	LEVEL	COUNT
NON-STANDARD - CLASS 1	900x3000	PARKING ENTRY	6
HORIZONTAL - CLASS 2	600x1800	LEVEL 1	6
VERTICAL - CLASS 1	800x1200	PARKING ENTRY	54
VERTICAL - CLASS 1	800x1200	LEVEL 1	6
GRAND TOTAL			72





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title:

BUILDING
ELEVATION -
NORTH

revision:

sheet:



2 STREET ELEVATION ALONG MCKENZIE AVENUE
DP.200 1 : 300

MATERIAL LEGEND

IMAGE	MARK	DESCRIPTION
	P1	PAINTED FIBRE-CEMENT PANELS - WHITE
	P2	PAINTED FIBRE-CEMENT PANELS - DARK GREY
	TC1	TILE CLADDING - SLATE GREY
	WD1	WOOD-FINISH METAL CLADDING
	WF1	WINDOW + SLIDING DOOR FRAMES - SILVER GREY
	BG1	WINDOW GLASS - TRANSPARENT
	BG2	GUARDRAIL GLASS - TRANSLUCENT WHITE
	FL1	METAL AND GLASS CANOPY - SILVER GREY
	GF1	BALCONY GUARDRAIL FINISH - SILVER GREY
	C1	EXPOSED CONCRETE - ARCHITECTURAL FINISH
	SL1	ALUMINIUM SLATS - SILVER GREY



1 ELEVATION - NORTH
DP.200 1 : 100



2 STREET ELEVATION ALONG SAANICH ROAD
DP.201 1 : 300

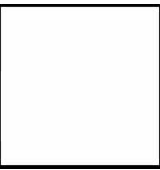
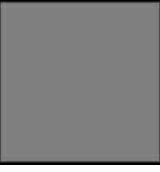
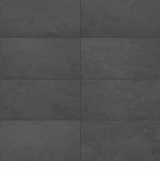
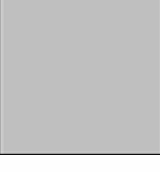
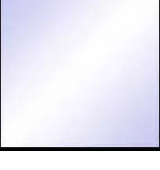
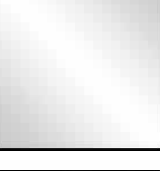
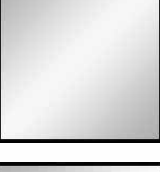
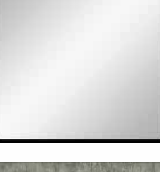
MATERIAL LEGEND

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	WD1	WOOD-FINISH METAL CLADDING
	WF1	WINDOW + SLIDING DOOR FRAMES - SILVER GREY
	BG1	WINDOW GLASS - TRANSPARENT
	BG2	GUARDRAIL GLASS - TRANSLUSCENT WHITE
	FL1	METAL AND GLASS CANOPY - SILVER GREY
	GF1	BALCONY GUARDRAIL FINISH - SILVER GREY
	C1	EXPOSED CONCRETE - ARCHITECTURAL FINISH
	SL1	ALUMINIUM SLATS - SILVER GREY



1 ELEVATION - EAST
DP.201 1 : 100

MATERIAL LEGEND

IMAGE	MARK	DESCRIPTION
	P1	PAINTED FIBRE-CEMENT PANELS - WHITE
	P2	PAINTED FIBRE-CEMENT PANELS - DARK GREY
	TC1	TILE CLADDING - SLATE GREY
	WD1	WOOD-FINISH METAL CLADDING
	WF1	WINDOW + SLIDING DOOR FRAMES - SILVER GREY
	BG1	WINDOW GLASS - TRANSPARENT
	BG2	GUARDRAIL GLASS - TRANSLUCENT WHITE
	FL1	METAL AND GLASS CANOPY - SILVER GREY
	GF1	BALCONY GUARDRAIL FINISH - SILVER GREY
	C1	EXPOSED CONCRETE - ARCHITECTURAL FINISH
	SL1	ALUMINIUM SLATS - SILVER GREY





MATERIAL LEGEND

IMAGE	MARK	DESCRIPTION
	P1	PAINTED FIBRE-CEMENT PANELS - WHITE
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	TC1	TILE CLADDING - SLATE GREY
	WD1	WOOD-FINISH METAL CLADDING
	WF1	WINDOW + SLIDING DOOR FRAMES - SILVER GREY
	BG1	WINDOW GLASS - TRANSPARENT
	BG2	GUARDRAIL GLASS - TRANSLUCENT WHITE
	FL1	METAL AND GLASS CANOPY - SILVER GREY
	GF1	BALCONY GUARDRAIL FINISH - SILVER GREY
	C1	EXPOSED CONCRETE - ARCHITECTURAL FINISH
	SL1	ALUMINIUM SLATS - SILVER GREY





BIRD'S EYE VIEW - NORTHEAST



VIEW - NORTHEAST



VIEW NORTHWEST



VIEW - SOUTHEAST

NOTE:
RENDERING IS AN OVERALL ARTISTIC IMPRESSION. DETAILS AND GROUND LEVEL LANDSCAPE PLANE MAY DIFFER

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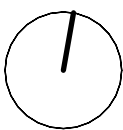
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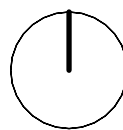
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seba
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consultant:

true north:



project north:



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title:
RENDERING

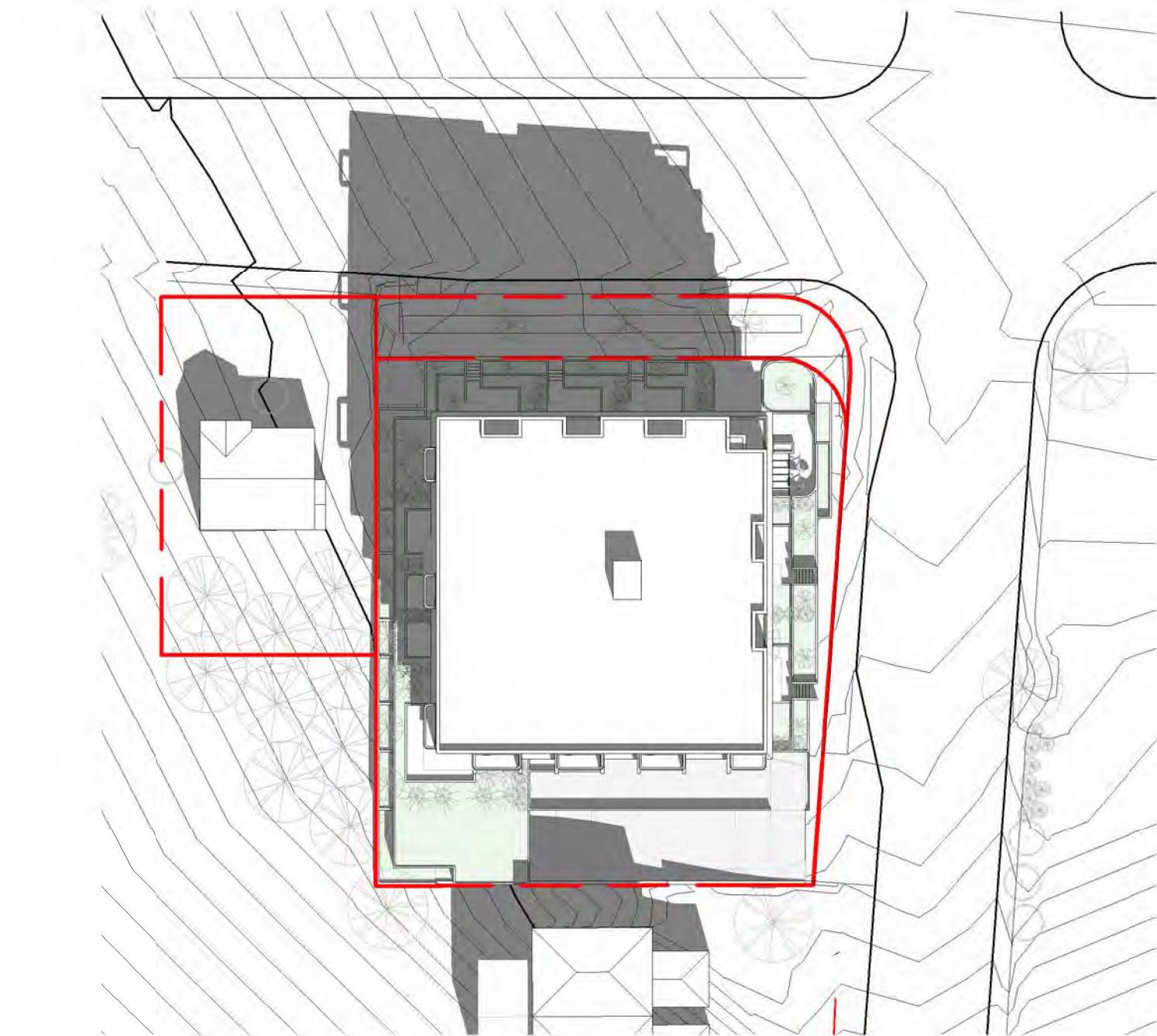
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sheet:

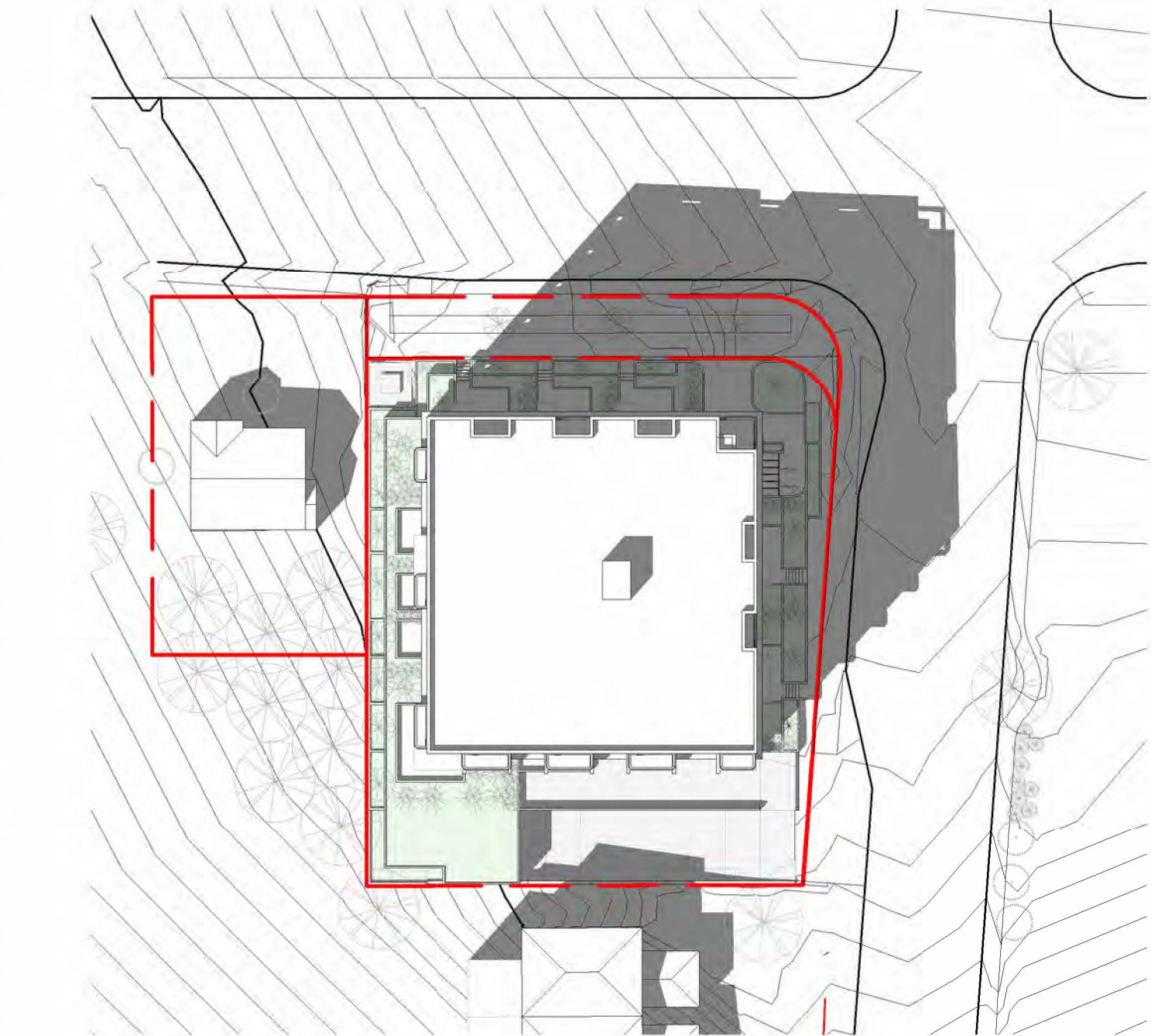
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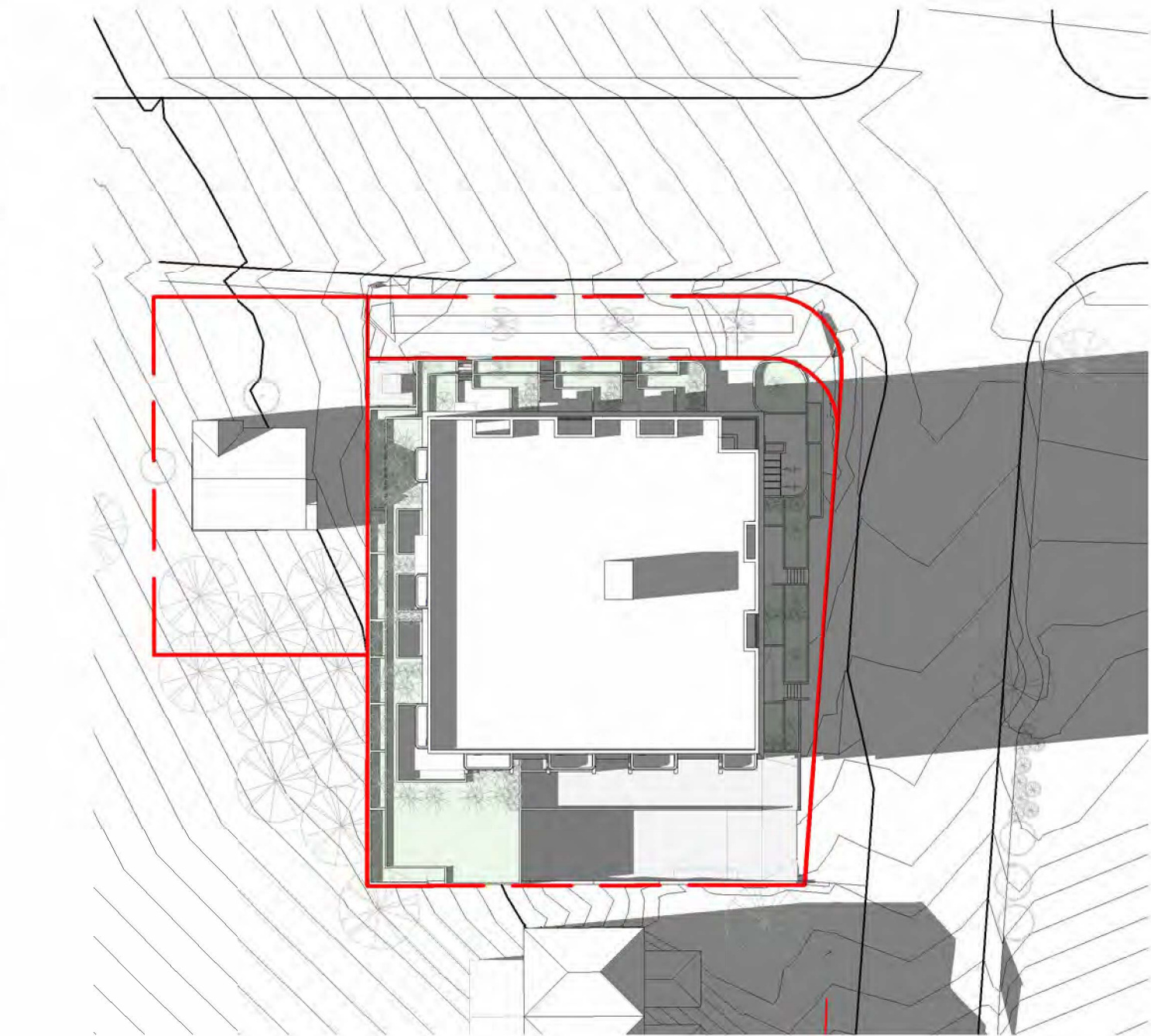
1
DP.400
SPRING/FALL EQUINOX 9AM
1 : 500



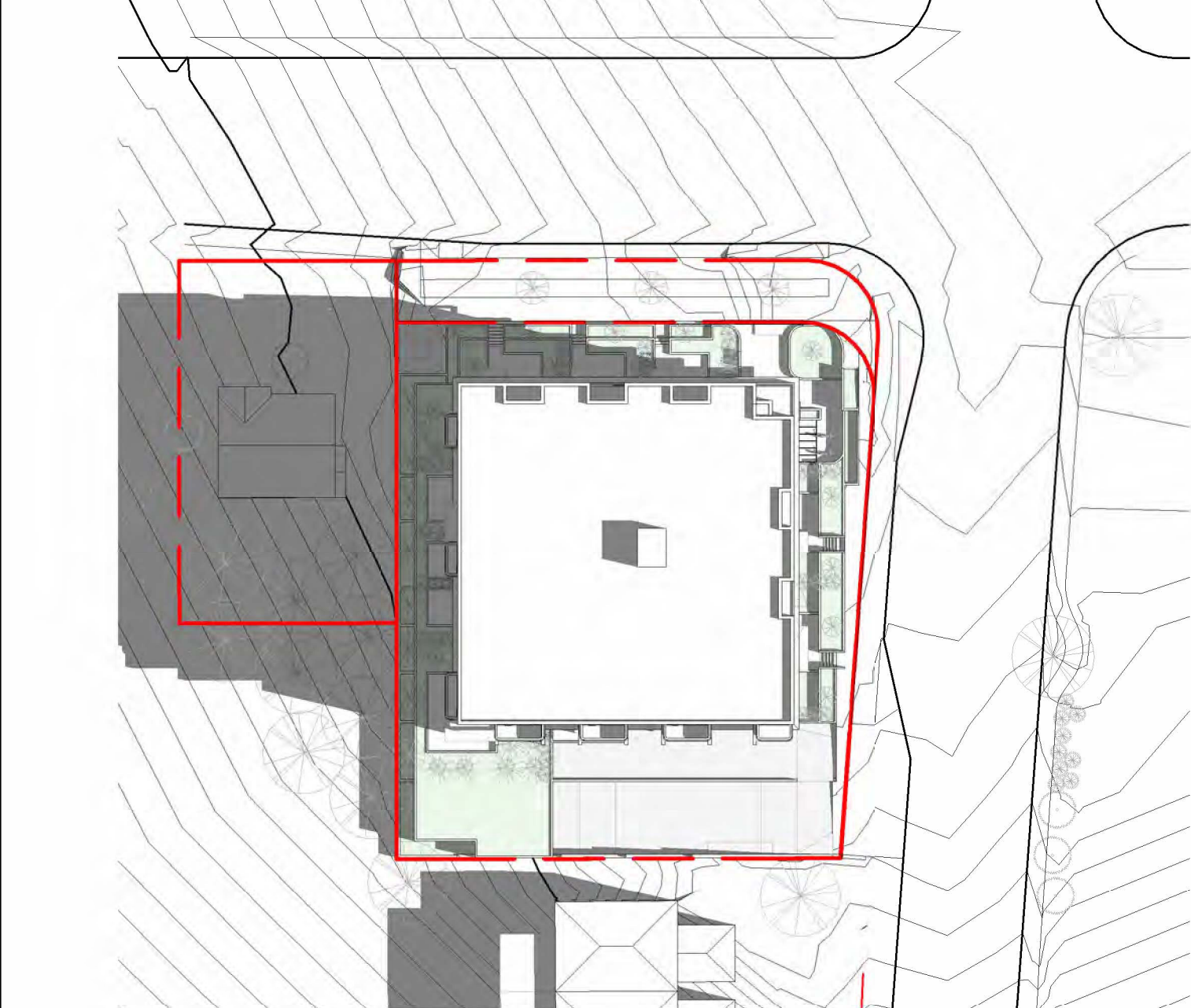
2
DP.400
SPRING/FALL EQUINOX 12PM
1 : 500



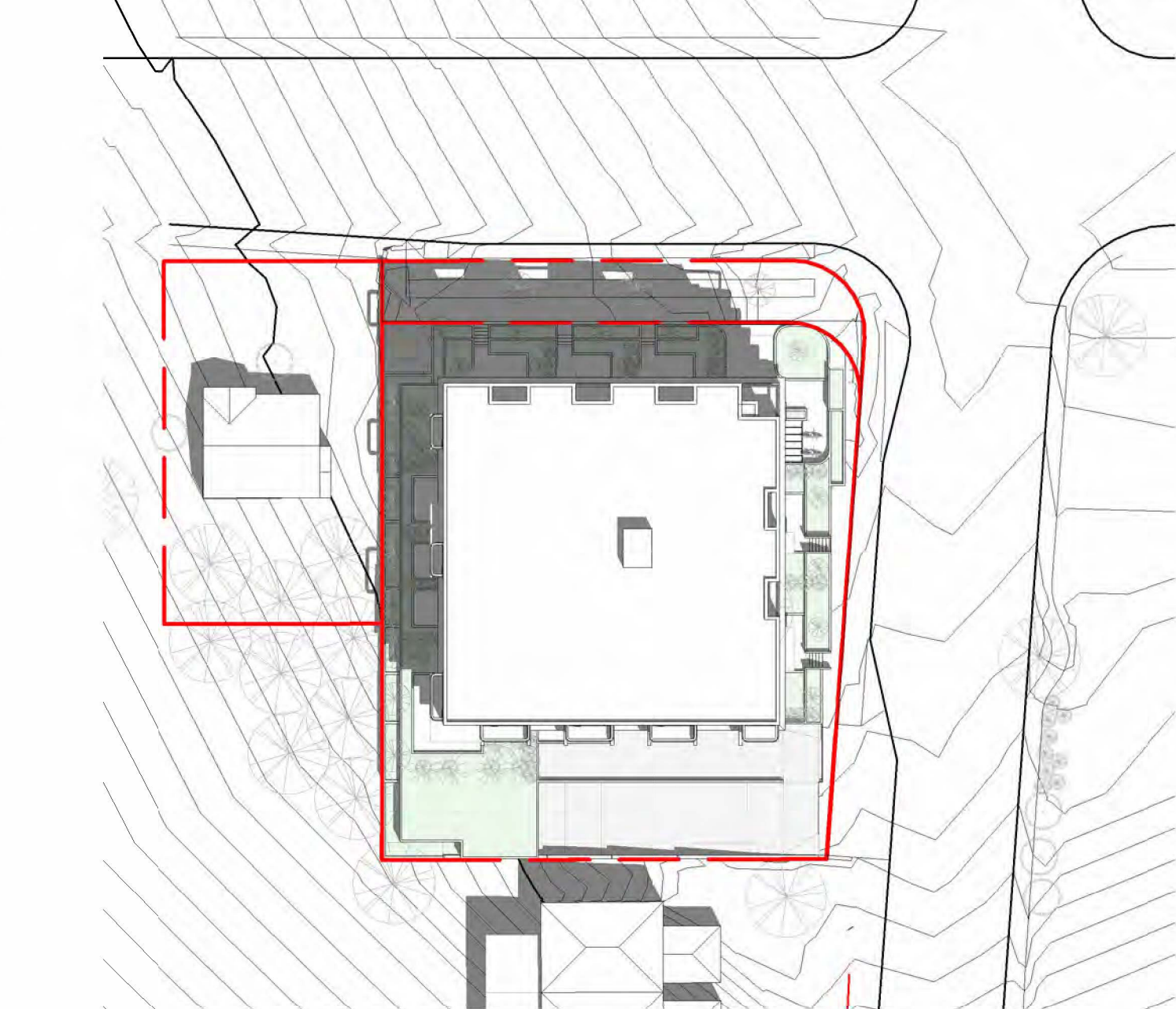
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DP.400
SPRING/FALL EQUINOX 3PM
1 : 500



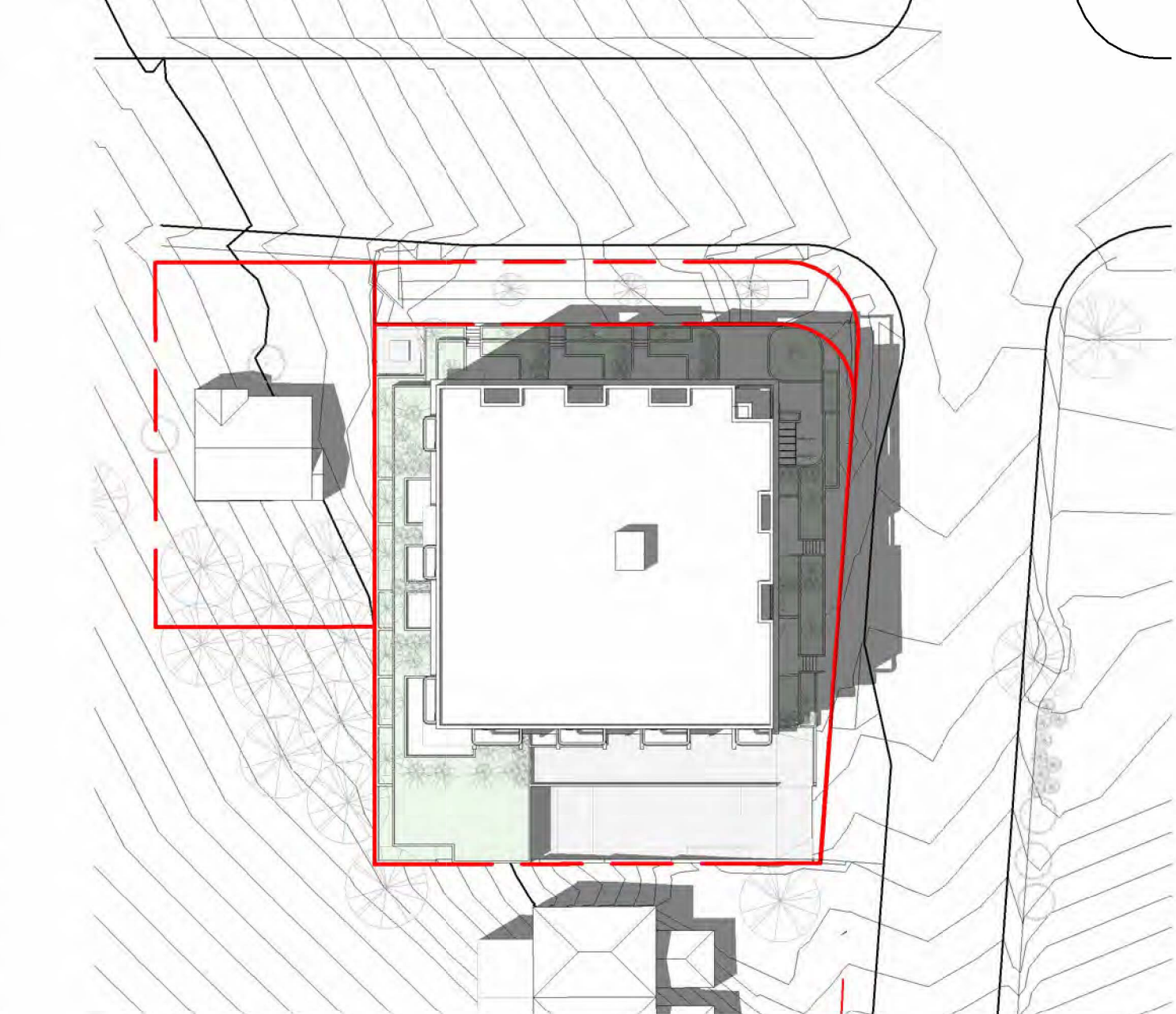
4
DP.400
SPRING/FALL EQUINOX 6PM
1 : 500



5
DP.400
SUMMER SOLSTICE 9AM
1 : 500



7
DP.400
SUMMER SOLSTICE 12PM
1 : 500



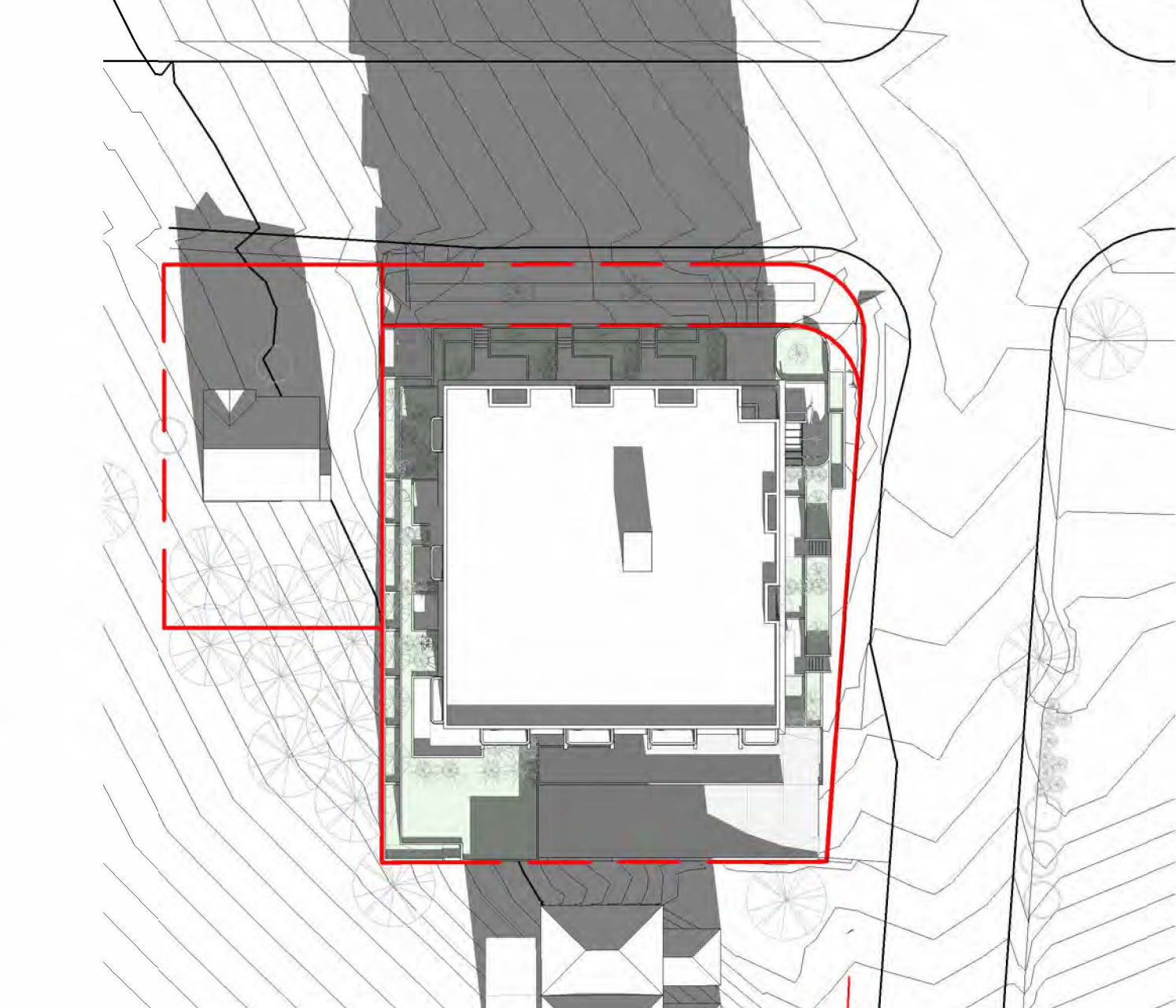
8
DP.400
SUMMER SOLSTICE 3PM
1 : 500



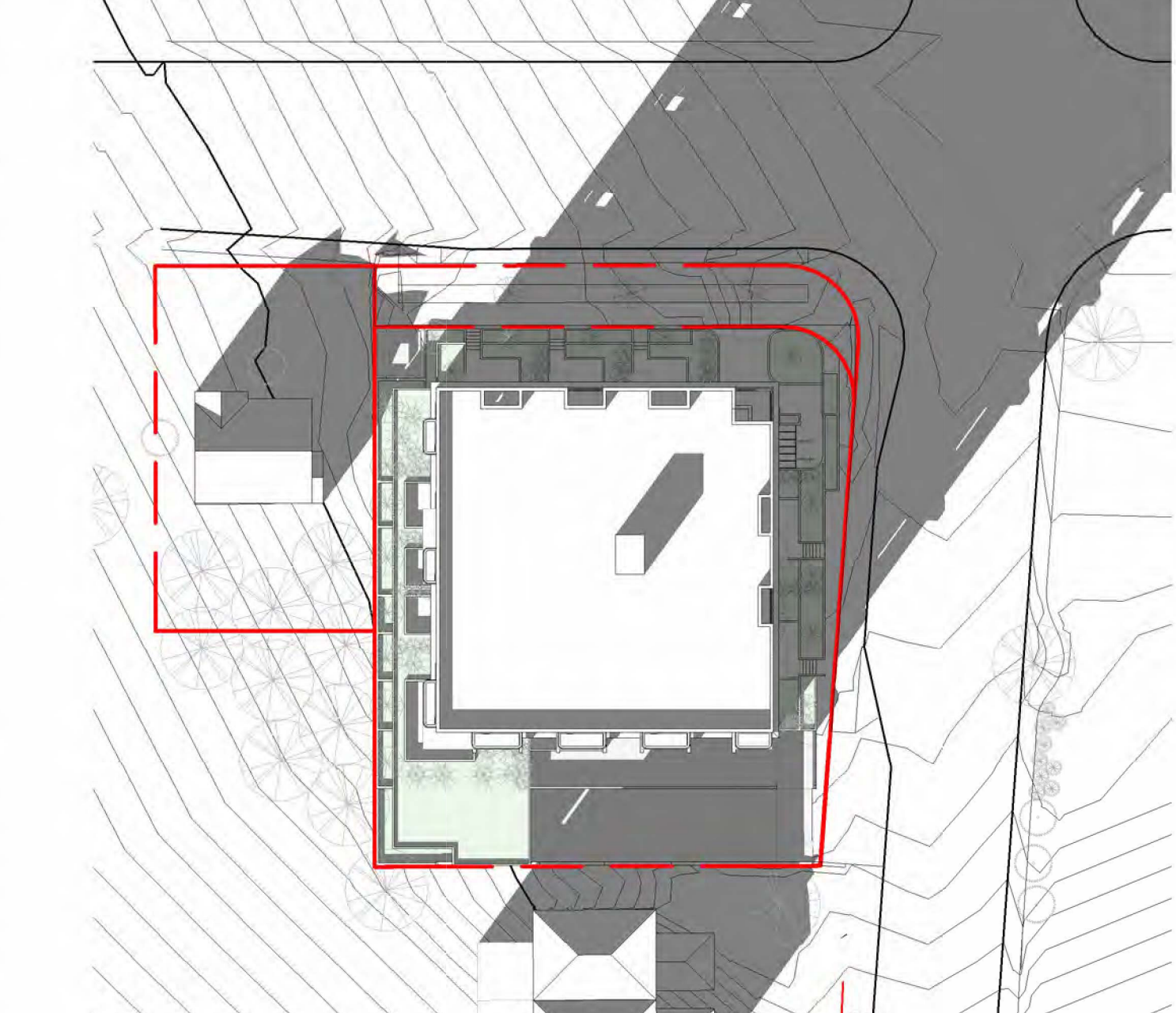
9
DP.400
SUMMER SOLSTICE 6PM
1 : 500



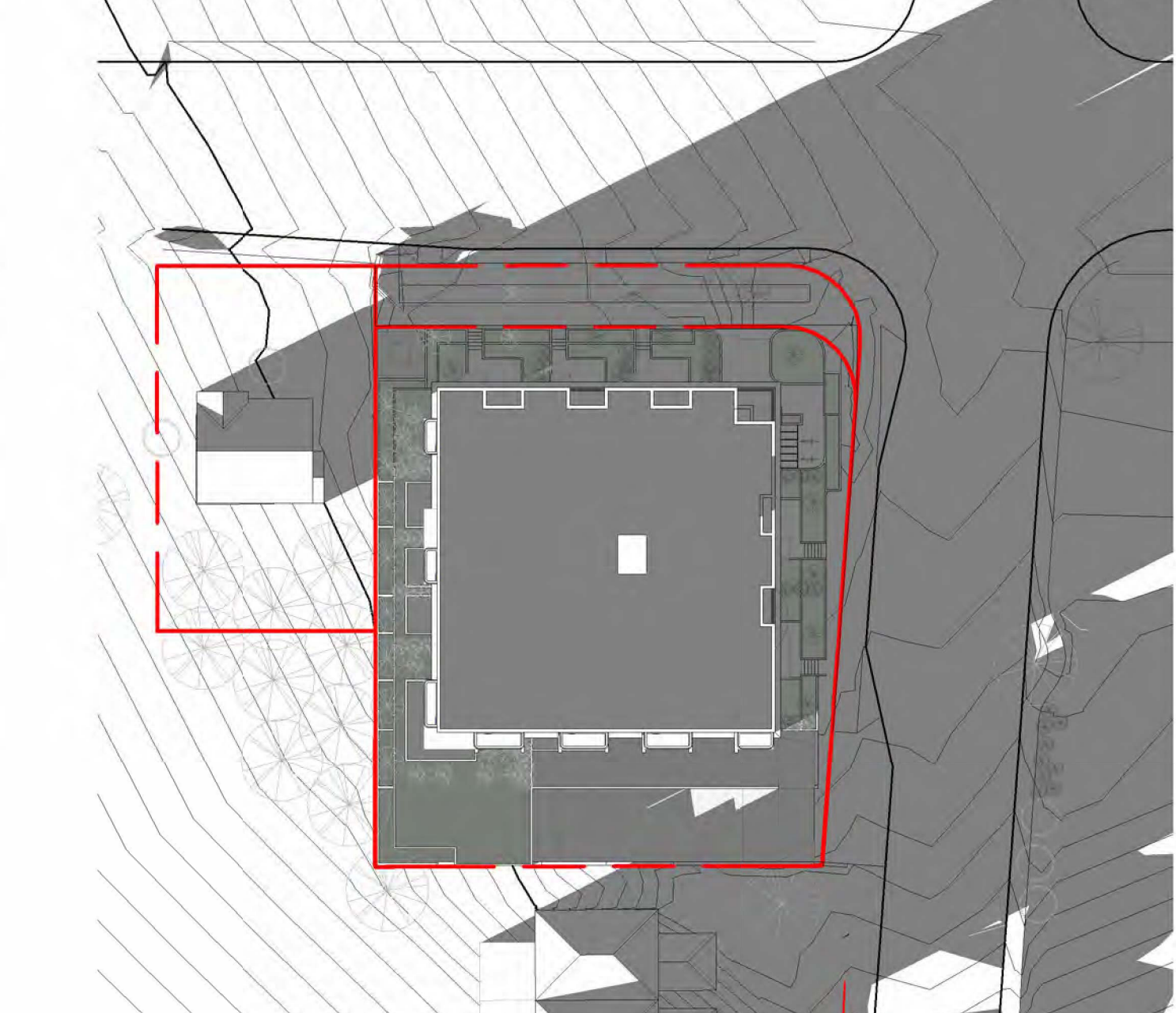
6
DP.400
WINTER SOLSTICE 9AM
1 : 500



10
DP.400
WINTER SOLSTICE 12PM
1 : 500



11
DP.400
WINTER SOLSTICE 3PM
1 : 500



12
DP.400
WINTER SOLSTICE 6PM
1 : 500

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title:
SHADOW STUDY

revision:

sheet:

DP.400